

South Haven Charter Township
09761 Blue Star Hwy, South Haven
Regular Planning Commission
October 2, 2024 at 7:00PM
Agenda

Call to Order

Role Call

Approval of the Agenda

Approval of the Minutes – September 4, 2024

Public Comments on Non-Agenda Items

Public Hearing - none

New Business

- a. Preliminary Site Plan Review, special land use marijuana business establishment, Stash Ventures, 13537 M140 Hwy, 80-17-022-040-00. Approx 6.5 acres, proposed building size approx. 4500sqft.
- b. Site Plan Review, proposed new hotel, 71751 Phoenix (CR 388) 80-17-012-047-01, approx. 14 acres, proposed approx. 100 rooms.
- c. Any other business that may come before the commission

Unfinished Business

- a. Any other business that may come before the commission

Staff & Subcommittee Reports/Discussion

- a. Township Board
- b. Zoning Board of Appeals
- c. Zoning Administrator

Public Comment

Commissioner Comments

Adjournment

SOUTH HAVEN CHARTER TOWNSHIP
PLANNING COMMISSION
MINUTES

Wednesday September 4, 2024

Draft

1) Call to Order: 7:00 PM

2) Role Call:

Tippman - present
Kiry – present
Odland - present
Meyer – present
Poole – present
Dibble – present
Nicol – present
Smalley, Zoning Administrator
few audience attendees

3) Approval of the Agenda

Motion by Poole to approve the agenda as presented, second by Tippman, 7-0 yes, motion passed.

4) Approval of the Minutes

Nicol stated the motion for rezone 73 ½ was incorrect, Tippman and Nicol were No. Motion by Nicol to approve the minutes of August 7, 2024 with correction, second by Dibble, 7-0, yes motion passed.

5) Public Comment non-agenda items - none

6) Communications / Correspondence - none

7) Public Hearing

Owner Benjamin and Jacquelyn Stegman of South Haven MI have petitioned for a Rezoning at 01821 73rd Street 80-17-002-056-10. Current zoning MDR (Medium Density Residential), re-zone request is to Community Service Commercial (CSC); approx. 2.9 acres

Tippman recused himself due to a conflict of interest.

Smalley went over the application: rezone request at 01821 73rd St, approx. 2.9ac. Current zone Med Den Res, request is to Com Srv Com. This parcel borders property in the city, which is used for commercial. This property used to a meat packing plant. The Future Land Use Map shows this area as commercial.

Applicant, Mr. Stegman added: this property is on a deadend street. He owns another property to the north that is for sale. Pete Buys, prospective buyer, would like to use the property for a concrete wholesale business. Typical office, staging area for product. Wholesale business, so not open for retail sales. Contractors, company's will be picking up product.

Motion by Poole to open the public hearing at 7:09pm, second by Meyer, 7-0yes, motion passed.

Public Comments:

Joe Dubina, 73rd St, resident of the area for a few years; several houses to the north of this property; concern with the narrow road and truck traffic; nice natural area, concern with clear cutting the property. Applicant stated: property will stay basically as is, not removing trees, just fixing the driveway and parking area.

Scott Raue, 73rd St, his property is few properties to the north; all wooded, wetlands, wildlife; maybe more rezone in future. Applicant responded: this property does not have Wetlands.

Pete Buys stated the property will remain natural, no retail, contractors will pick up property.

Motion by Poole to close the public hearing at 7:18 pm, second by Nicol, 7-0yes, motion passed.

8) New Business –

- a. Review/decision Rezone 73rd, Stegman, MDR to CSC

Dibble is concerned with the proposed new use, is it allowed? Odland stated the site plan review will be another meeting, this meeting is for the rezone. Nicol also concerned with the proposed use might not be allowed. Smalley stated there was a discussion for applicant to read the CSC uses, and there will be another meeting for site plan review.

Fact of Finding 25.06

- A. Whether the rezoning is consistent with the policies and uses proposed for that area in the Township's Master Land Use Plan; rezone is consistent, pg 62 future land use map shows this area commercial.
- B. Whether all of the uses allowed under the proposed rezoning would be compatible with other zones and uses in the surrounding area; Yes, other commercial uses in the area.
- C. Whether any public services and facilities would be significantly adversely impacted by a development or use allowed under the requested rezoning; Commercial uses could stress the road, other services will not be impacted.
- D. Whether the uses allowed under the proposed rezoning would be equally or better suited to the area than uses allowed under the current zoning of the land. Equally, other commercial and was commercial in the past.

Motion made by Nicol to recommend approval to the Township Board of rezone request from MDR to CSC, second by Kiry. No discussion. Roll Call – Poole-Yes; Dibble-No; Tippman-n/a; Odland-No; Nicol-Yes; Kiry-Yes; Meyer-Yes 4-2, 1 abstain vote, motion passed.

Tippman resumed to meeting.

b. Start discussion on zoning ordinance update

Brad Kotrba, Williams and Works went over the plan for the zoning ordinance update. First will do a review for state statute compliance, other deficiencies. Once that is done, comments will be presented and we can start to go thru the ordinance. Plan to go thru the ordinance from the beginning, but the definitions will be done last.

Smalley suggested the PC members read through the ordinance and make notes to go over.

9) Unfinished Business – none

10) Staff & Subcommittee report

ZBA report- upcoming meeting Sept 16th and 23rd

Board report – refer to Board minutes

Zoning report – possible 2 site plan reviews

11) Commissioner Comments and Public Comment

12) Adjournment

at 8:31 pm

Respectfully Submitted by:

Tasha Smalley

Zoning Administrator/Recording Secretary

SOUTH HAVEN CHARTER TOWNSHIP
Draft MINUTES OF REGULAR MEETING
WEDNESDAY, SEPTEMBER 11, 2024

Present: Stein, Fisher, Bertorelli, Wiatrowski, DeGrandchamp, Kiry and Lewandowski

Meeting was called to order by Supervisor Stein at 7:30 p.m.

A prayer was offered in remembrance of 9/11.

Motion by Lewandowski, supported by Kiry, to approve the Minutes of the August 14th Regular Meeting as presented. All voted in favor. Motion carried.

Sgt. Carlotto was in attendance to report for SHPD. Zach Kenreich reported for SHAES. Gail Gladney reported for VBCounty. Several residents from 73.5 Street were in attendance to discuss arsenic in their wells. Supervisor Stein will be contacting Aric Nesbitt and Commissioner Gladney will be helping to facilitate a meeting with the County Commission. Kevin Whiteford was in attendance to introduce himself as a candidate.

Motion by DeGrandchamp, supported by Wiatrowski, to approve the Agenda. All voted in favor. Motion carried.

Supervisor Stein reported that several apartment projects are in the works, that MEC and Comcast have completed Internet hookups, and that he has an upcoming meeting with Granicus regarding STR.

Clerk Bertorelli, reported that a resolution adopting Ordinance #161 an Ordinance to renew Michigan Gas Utilities franchise is postponed until next month as it has not yet been published as required by law.

Motion by Stein, supported Bertorelli, to set a Public Hearing for the 2025 Budget for October 9th at 7:30 p.m. All voted in favor. Motion carried.

Motion by Wiatrowski, supported by Fisher, to adopt Resolution 24-17 Approving the L4029. All voted in favor by roll call vote. Motion carried.

Motion by Stein, supported by Fisher, to appoint Supervisor Stein as South Haven Township's SHARA representative. All voted in favor. Motion carried.

Motion by Lewandowski, supported by Wiatrowski, to approve change in ownership for the Green Buddha as presented by the Zoning Administrator. All voted in favor. Motion carried.

Clerk Bertorelli reported that the rezoning request on 73.5 street was forwarded to the attorney but we have not received anything back yet from their office.

Motion by Wiatrowski, supported by Lewandowski, to adopt Resolution 24-18 Adopting Ordinance #162 for a PILOT program at Eagles Wind Apartments. All voted in favor by roll call vote. Motion carried.

Motion by Wiatrowski, supported by Lewandowski, to adopt Resolution 24-19 Adopting Ordinance #163 for a PILOT program at Eagles Nest Apartments. All voted in favor by roll call vote. Motion carried.

Clerk Bertorelli reported that the Applewood Special Assessment District was forwarded to the attorney but we have not received anything back from their office.

Motion by DeGrandchamp, supported by Kiry, to accept the Planning Commission's recommendation for a rezoning request for property on 73rd Street and send the information forward to the attorney. All voted in favor. Motion carried.

Reports from various committees and authorities were received. W.C. Askew was in attendance for the Road Commission and Jean Stein reported for the Library.

Motion by Fisher, supported by Wiatrowski, to approve payment of anticipated bills in the amount of \$51,641.61. All voted in favor by roll call vote. Motion carried.

Meeting adjourned at 9:12 p.m.

Brenda Bertorelli, Clerk

Ross Stein, Supervisor

Memorandum: South Haven Charter Township Planning Commission

Date: September 17, 2024

From: Tasha Smalley, Zoning Administrator

RE: Preliminary - Special Land Use Review

Meeting date: October 2, 2024

Owner: FHB 2, LLC

Owner address: 10300 Kincaid Dr Suite 100, Fishers IN 46037

Applicant: Stash Ventures, LLC

Applicant Address: 212 W Pickard Suite B, Mt Pleasant 48858

Subject Property: 13537 M-140, South Have Township

Parcel #: 80-17-022-040-00

CSC – Community Service Commercial District

Minimum lot area – W/S – 10,000 sq ft; 1 acre

Minimum lot width – W/S – 80 ft; 150 ft

Front setback – 35 ft right-of-way

Side setback – 10 ft

Rear setback – 50 ft

14C Marihuana Business Overlay

SLU 15.34 Marihuana Business

#9a more than 1000ft from school etc

#9b no dwelling on any adjacent parcels

Marihuana application has been submitted and approved

Analysis

Property 80-17-022-040-00 is a legal conforming lot of record

Lot area approx. 325x720, 6.4 acres

SECTION 22.05 PRELIMINARY SITE PLAN

- A. Mandatory- Preliminary site plan review is mandatory for all Special Uses as well as re-zone Planned Unit Developments (Type II PUD) and for Open Space Preservation developments as provided for in Section 18.46 and in compliance with P.A. 177 of 2001, as amended.

Project: This is only Preliminary, final plan will have the reviews, etc

Construct a new building, Marihuana Business

Proposed Building 55x90, 4950sqft

Front 115ft, side 32ft

Proposed spaces 10x20

TOTAL SPACES REQUIRED: 24 SPACES

TOTAL SPACES PROVIDED: 68 SPACES

20.04A No parking proposed by any applicant shall exceed these standards by more than 25%.Exception: If an applicant presents a parking study performed by an independent engineer for the specific use that demonstrates that a lesser or greater standard is more appropriate, then the Planning Commission may allow the use of the *modified* standard.

Lighting – wall mounted shielded lights.

South Haven Charter Township
09761 Blue Star Hwy South Haven MI 49090
269-637-3305 shtwp.zoninga@gmail.com
Zoning Department 111 Grand St Allegan MI 49010 1-800-626-5964 mtsallegan@frontier.com

**APPLICATION SITE PLAN REVIEW, SPECIAL USE
PUD, SITE CONDO, OTHER**

Property Owner

Name FHB 2, LLC

Address 10300 Kincaid Drive Ste 100 City Fishers, IN Zip 46037

Telephone 812-369-9680 Email jessica@roundroom.com

Representative (if applicable) Jessica Heffernan

Telephone 812-369-9680 Email jessica@roundroom.com

Applicant (if different from Owner)

Name Stash Ventures, LLC

Address 212 W. Pickard St Suite B City Mt Pleasant, MI Zip 48858

Telephone 989-546-4097 ext 106 Email lindy.dickerson@stashventures.com

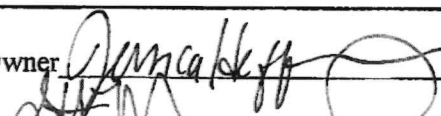
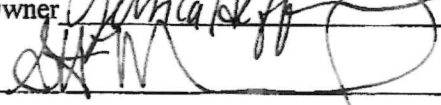
Property Address: 13537 M-140 South Haven, MI 49090

Property Number 80-17-022-040-00

Current Zoning Classification and Use Highway Service Commercial

Nature of Activity for which Review is Requested: (check which apply)
Commercial Use ; Industrial Use ; Multi-family Use ; Temporary Use ;
Grading/Paving ; Special Use ; Site Condo ; PUD ;
(Other) _____

Describe proposed activity/use: Proposed marihuana retailer

Signature of Property Owner  Date 5/9/24
Signature of Applicant  Date 5/9/24

(owner and applicant must sign)

Stash Venture Review

SECTION 15.04 DATA, EXHIBITS AND INFO REQUIRED IN APPLICATION

An application for a special use permit shall contain (a) the applicant's name and address in full, (b) a notarized statement that the applicant is the owner involved or is acting on the owner's behalf, © the address of the property involved, (d) an accurate survey and site plan of said property showing the existing and proposed location of all buildings and structures thereon, and types thereof, and their uses and (e) a statement and supporting data, exhibits, information and evidence regarding the required findings set forth in this Ordinance.

#1 -b & d are required

Per 22.05A Preliminary site plan review is Mandatory. The Oct 2nd meeting is only Prelim; no public hearing and no decision.

#2. 22.05B1 – Preliminary

1. I do not see a plan/survey showing the full parcel with dimensions (also required per 15.04)

#3. Off-Street Parking 20.04A – shall not exceed 25% more of the required standard.

Required spaces 24

Proposed 68 – exceeds 25% of 24

Read 20.04 “exception” a study can be provided to exceed

Please amend plans and email PDF; provide 1 hard copy (PC trying to use less paper)

For Final plan – items missing

b. all lot lines and dimensions

n. review letter from Fire Dept

o. review letter from MDOT

p. review letter from Drain Commission

NO.	REVISIONS	DATE	BY



ADDRESS: 10000 WISSETTA
 DELTONA, MI 48841
 PHONE: 517-253-1234
 FAX: 517-253-1234

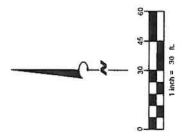
SCALE: AS NOTED
DESIGNED BY: CH2
DRAWN BY: CH2
CHECKED BY: CH2

- PRELIMINARY -
 NOT FOR CONSTRUCTION

SITE PLAN

STASH VENTURES
 SOUTH HAVEN, MI

GENERAL NOTES: 08/20/2024
PROJECT NO: 23079
SHEET NUMBER: C101



SITE INFORMATION

OWNER: HIGHWAY SERVICE COMMERCIAL
 PROJECT: 17100 S. HAVEN RD.
 BUILDING AREA: 4,950 S.F.
 NUMBER OF STORES: 1
 PROPOSED GREEN SPACE: 230 S.F. (4.6%)
 PROPOSED GREEN SPACE: 230 S.F. (4.6%)

BUILDING SETBACKS:
 FRONT: 50 FT
 SIDE: 10 FT
 REAR: 50 FT

REAR: 50 FT TOTAL
 50 FT

SEPARATE PARKING REQUIREMENTS: 20 FT
 1 PARKING SPACE PER 200 S.F. OF UFA DEVOTED TO RETAIL SALES.

TOTAL SPACES REQUIRED: 24 SPACES
 TOTAL SPACES PROVIDED: 24 SPACES
 ADA PARKING SPACES REQUIRED: 3 SPACES
 ADA PARKING SPACES PROVIDED: 3

SITE GENERAL NOTES

1. DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO VERIFY ALL EXISTING TOPOGRAPHY AND STRUCTURES ON SITE. CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES.
3. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS NOTED OTHERWISE.
4. OTHER NOTES, SPECIFICATIONS, AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.

KEY NOTES

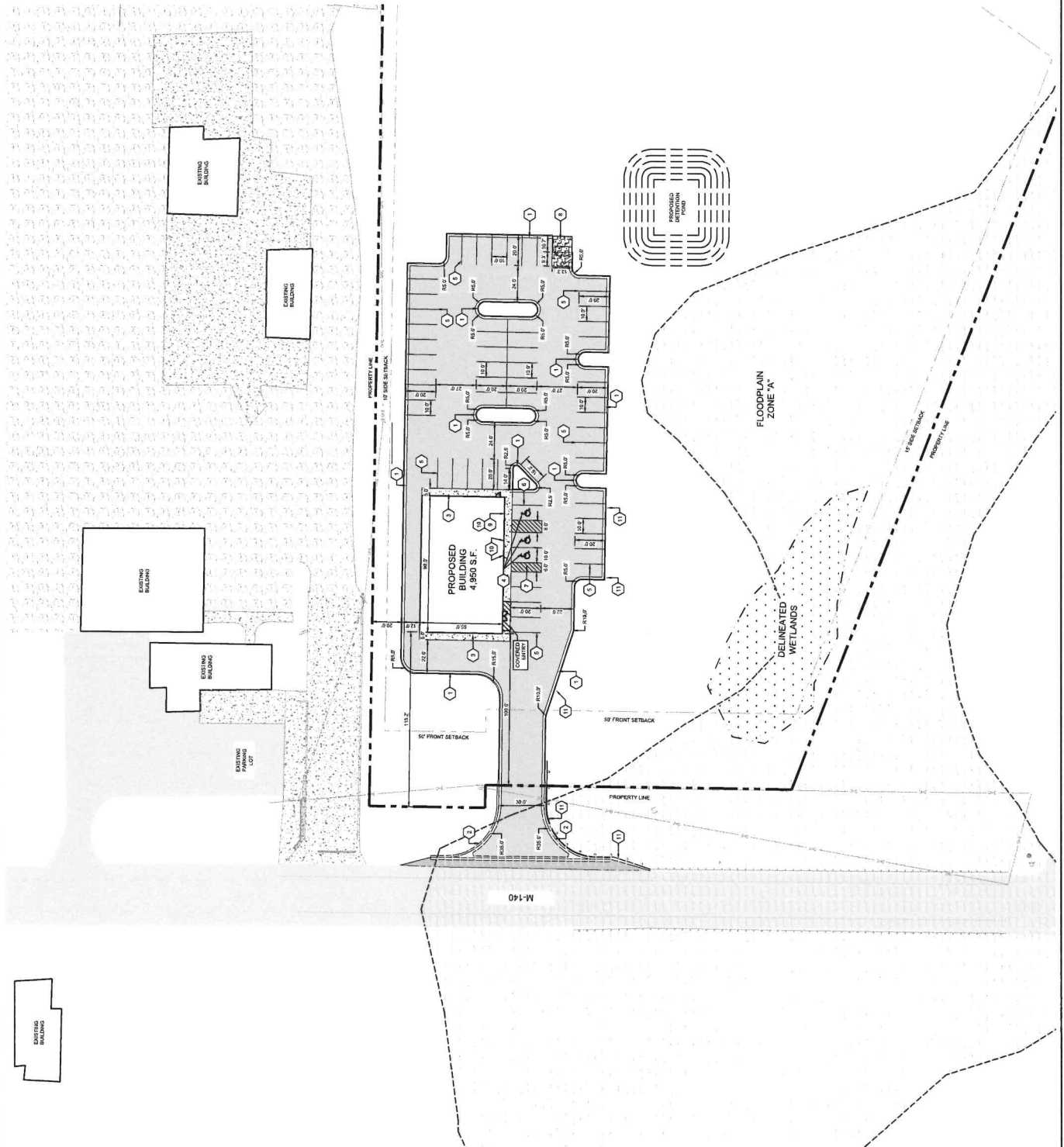
1. TYPE IV CURB AND OUTER (SEE DETAILS)
2. TYPE III CURB AND OUTER (SEE DETAILS)
3. THICKENED EDGE CONCRETE SIDEWALK, TYP. (SEE DETAILS)
4. ACCESSIBLE PAVED/GRASS MANNING, TYP. (SEE DETAILS)
5. 4" WIDE PAINTED SOLID WHITE LINE, TYP.
6. 4" WIDE PAINTED SOLID BLUE LINE, TYP.
7. 4" WIDE PAINTED SOLID BLUE LINE AT 45 DEGREES, TYP.
8. REFUSE ENCLOSURE (SEE ARCHITECTURAL DETAILS)
9. ACCESSIBLE PARKING SIGN, TYP. (MATCHED D-4) (MICHIGAN ACT 18 AND 183)
10. ACCESSIBLE PARKING SIGN, TYP. (MATCHED R1-6P) (MICHIGAN ACT 18 AND 183)
11. GUARD RAIL

PAVEMENT LEGEND

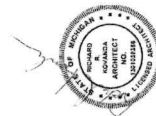
STANDARD DUTY CONCRETE PAVEMENT:
 SEE DETAILS

NEW DUTY CONCRETE PAVEMENT:
 SEE DETAILS

STANDARD DUTY PAVEMENT:
 1.5" MIN. 100 PSI TO 4.5" LEVELING COURSE
 1.5" MIN. 100 PSI TO 4.5" LEVELING COURSE
 1" SUBGRADE, C/P



M-140

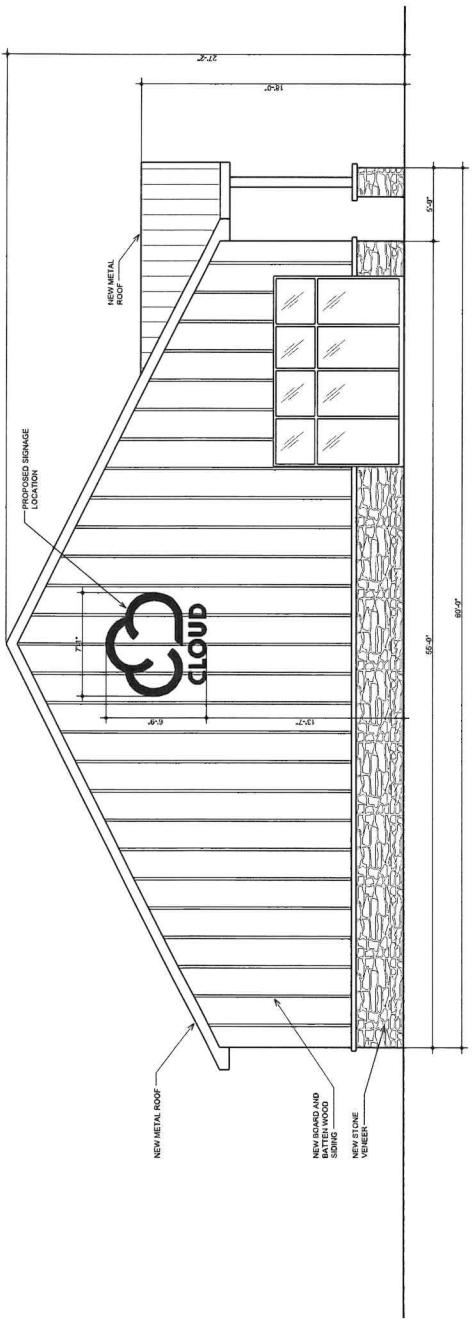


CLOUD CANNABIS
13537 MICHIGAN 140
SOUTH HAVEN, MI

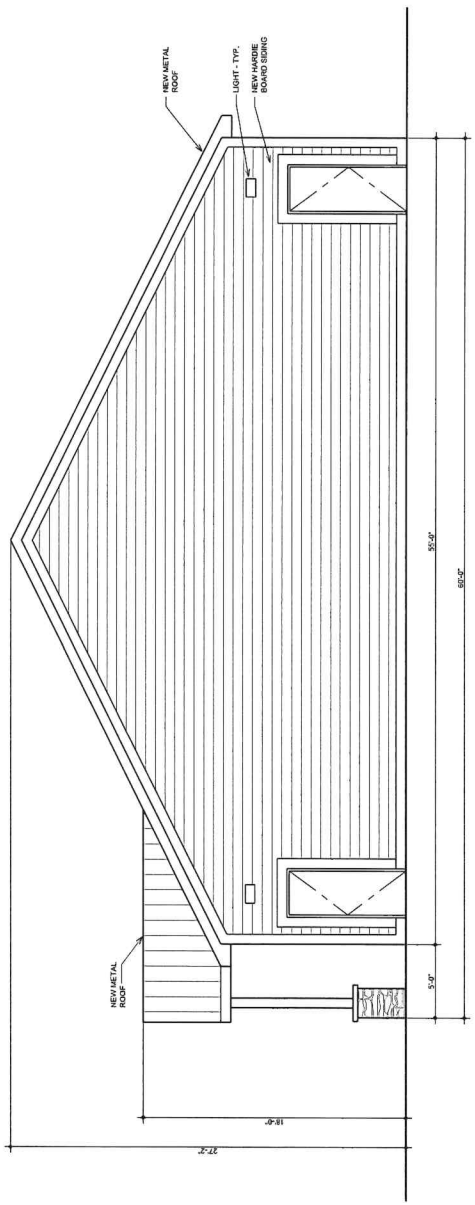
Title:
PROPOSED FLOOR PLAN

Sheet No.:
A-3

09-04-2024



PROPOSED WEST ELEVATION
13537 MICHIGAN 140, SOUTH HAVEN
SCALE: 1/4" = 1'-0"



PROPOSED EAST ELEVATION
13537 MICHIGAN 140, SOUTH HAVEN
SCALE: 1/4" = 1'-0"

Architect:



17376 West 12 Mile Rd.
Suite #105
Southfield, MI 48076
(248) 753-4484



Memorandum: South Haven Charter Township Planning Commission

Date: September 19, 2024

From: Tasha Smalley, Zoning Administrator

RE: Site Plan Review – Hotel

Meeting date: October 2, 2024

Owner: Horizon South Haven LLC; Sly Sandiha

Owner address: 6895 Telegraph Rd, Bloomfield Hills MI 48301

Applicant: Umlor Group; Brian Biskner

Address: 49287 West Road, Wixom MI

Subject Property: 71751 CR 388

Parcel #: 80-17-012-047-01

Analysis

Property 80-17-012-047-01 is legal conforming lot of record

Lot area approx. 520x1320; 14.75acres

Proposed project:

Allowed by right, no public hearing

22.06C

Construct a new hotel; approx. 100 rooms

Exceed setbacks

Parking- required 116, proposed 134, 10x20 spaces

This project will be sharing a driveway for ingress/egress with west property (future apartment site).

City has sent a review letter regarding driveway and water/sewer.

Should have fire department and drain commission reviews by the meeting.

South Haven Charter Township
09761 Blue Star Hwy South Haven MI 49090
269-637-3305 shtwp.zoninga@gmail.com
Zoning Department 111 Grand St Allegan MI 49010 1-800-626-5964 mtsallegan@frontier.com

**APPLICATION SITE PLAN REVIEW, SPECIAL USE
PUD, SITE CONDO, OTHER**

Property Owner

Name Horizon South Haven LLC - Sly Sandiha

Address 6895 Telegraph Rd City Bloomfield Hills, MI Zip 48301

Telephone 248-862-2844x102 Email sly@pinnaclepmg.com

Representative (if applicable) _____

Telephone _____ Email _____

Applicant (if different from Owner)

Name Umlor Group

Address 49287 West Road City Wixom MI Zip 48393

Telephone 248-773-7656 Email bbiskner@umlorgroup.com

Property Address: 71751 Phoenix Street


Property Number 80-17-012-047-01

Current Zoning Classification and Use csc & mdr

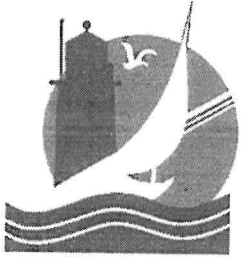
Nature of Activity for which Review is Requested: (check which apply)
Commercial Use ; Industrial Use ; Multi-family Use ; Temporary Use ;
Grading/Paving ; Special Use ; Site Condo ; PUD ;
(Other) _____

Describe proposed activity/use: New Hotel Construction

Signature of Property Owner  Date 9/6/24

Signature of Applicant  Date 9/6/24

(owner and applicant must sign)



City of South Haven

DPW • 1199 8th Avenue • South Haven, Michigan 49090-1499
Telephone (269) 637-0737 • Fax (269) 637-4778

TO: Brian Biskner, Umlor Group
CC: Tasha Smalley, South Haven Township Zoning Administrator

FROM: Dana R. Burd, P.E., City of South Haven Public Works Director
DATE: September 17, 2024
SUBJECT: Townplace Suites – Site Plan Review
71751 Phoenix St/CR 388

Mr. Biskner,

On behalf of The City of South Haven and the South Haven Area Water Sewer Authority (SHAWSA), we have completed an initial review of the plans for the proposed Townplace Suites Hotel dated September 5, 2024 (received September 10, 2024). We have the following comments related to your submittal for South Haven Township Planning Commission review:

1. **Access/Driveways** - The City of South Haven has jurisdiction over Phoenix Street/CR 388 at 71751. The proposed commercial driveway onto Phoenix was previously approved with the Eagle Winds Apartments review. You will need an access easement over their parcel to share use of the driveway. We have no objection to the proposed shared use.
2. **Public Water and Wastewater Service** - We understand the proposed hotel would be served by a public utility extension on the adjacent parcel. We have been working with you (and the engineer for the adjacent parcel) to review and coordinate this effort. A public utility extension is necessary to serve multiple parcels/customers in this commercial area. SHAWSA will continue working with both developments to facilitate the necessary review and permits for public utility extensions and services to both developments.
3. **Stormwater Management** - We understand the proposed hotel site will be reviewed by the Van Buren County Drain Commissioner's office and that no connections are proposed to City storm sewer pipes in Phoenix Street.
4. **Landscaping Sheet (L-1)** - We do not want to see trees planted within the proposed public sanitary sewer easement along Phoenix Street.
5. **Electric Service** - The City of South Haven is the electric service provider in this area. You will need to contact our Electric Superintendent to coordinate service needs.

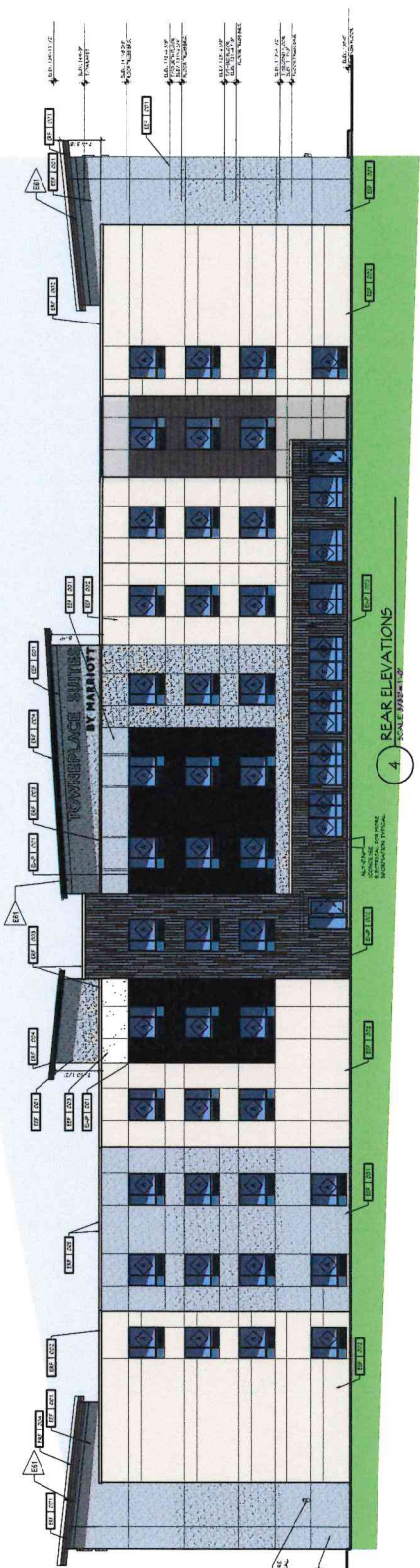
The City of South Haven is an Equal Opportunity Provider and Employer.

Construction Documents are required for additional review when available. We will provide more detailed review comments and connection fee estimates at that time. Please contact me at 269-637-0719 with any questions or concerns.

Regards,

A handwritten signature in black ink, appearing to read 'D. Burd', written in a cursive style.

Dana R. Burd, P.E.
City of South Haven

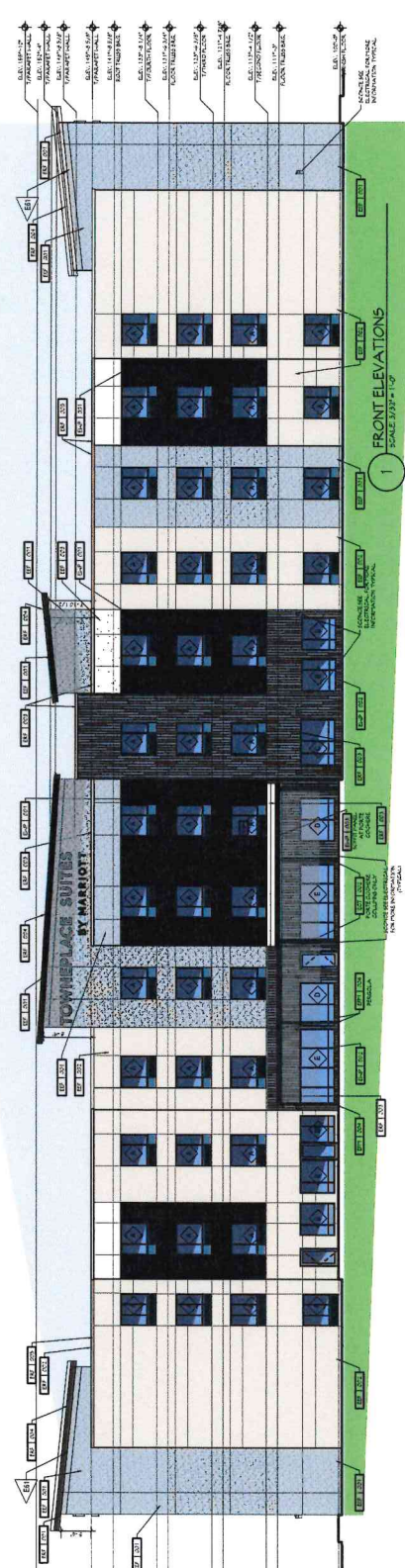


4 REAR ELEVATIONS
SCALE 1/8" = 1'-0"

- ERF-001 BENJAMIN MOORE 'STONE BROWN' NO. 2112-30
- ERF-002 BENJAMIN MOORE 'MANOR BLUE' NO. 1627
- ERF-003 BENJAMIN MOORE 'NOVEMBER RAIN' NO. 1242-60

- EEF-001 NICHA 'WHITE DIAMOND' NO. 2742
- EEF-002 BENJAMIN MOORE 'STONE BROWN' NO. 2112-30
- EEF-003 NIGHT SHADE ED880-CUS SMOOTH

- EWP-002 NICHA 'SMOKE EDZ74N'
- COLOR TO MATCH ADJACENT WALL
- MATCH NICHA 'WHITE DIAMOND'
- WHITE ON BLACK
- BLACK



1 FRONT ELEVATIONS
SCALE 1/8" = 1'-0"

GENERAL NOTES

- ARCHITECTS: MA'IST ARCHITECTURAL DIVISION OF L.E.M., INC. 10000 N. STATE STREET, SUITE 100, GOSHEN, INDIANA 46526
- CONSULTANTS: RAH'S and MSJ FILING PHONE (571) 537-4800 FAX (571) 537-4888

This drawing is the property of MA'IST ARCHITECTURAL SERVICES and shall not be reproduced, copied, or used in any manner without the expressed written consent of MA'IST ARCHITECTURAL SERVICES.

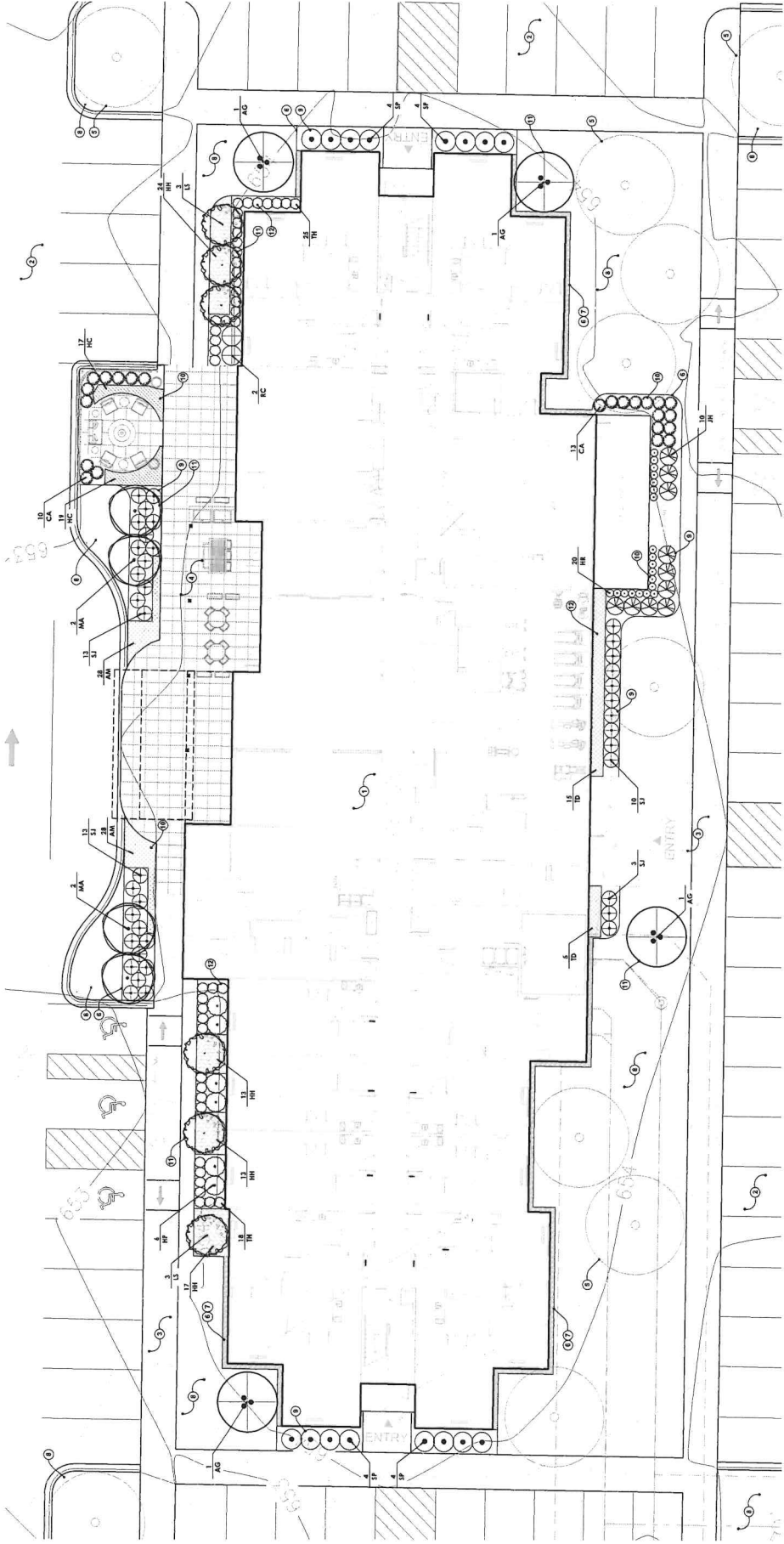
ADDITIONS:

PRELIMINARY - NOT FOR CONSTRUCTION

TOWNEPLACE SUITES BY MARRIOTT

PLUMBING PLAN

DATE: 12/21/23
 SHEET: HAS-23-145
 BUILDING ELEVATIONS
 SHEET: A201



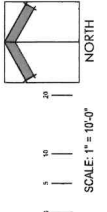
NOTE KEY:
 1 PROPOSED HOTEL, SEE ARCHITECTURE
 2 PROPOSED PARKING LOT, SEE CIVIL ENGINEERING DRAWINGS
 3 PROPOSED CONCRETE SIDEWALK, TYPICAL
 4 RECREATIVE PAVING PER HOTEL SITE MANUALS
 5 PROPOSED CANOPY TREES, SEE SHEET L-1
 6 METAL EDGING BETWEEN LAWN AND LANDSCAPE BEDS, TYPICAL
 7 12" WIDE STONE MAINTENANCE STRIP OVER FABRIC, SEE TYPICAL DETAIL, SHEET L-3
 8 SOCCER LAWN OVER MINIMUM 2" DEPTH TOPSOIL, SEE GENERAL LANDSCAPE NOTES SHEET L-1
 9 SPRINK PLANTING, SEE TYPICAL DETAIL, SHEET L-3
 10 PERENNIAL, GROUNDCOVER PLANTING, SEE TYPICAL DETAIL, SHEET L-1
 11 ORNAMENTAL TREE, SEE TYPICAL DETAIL, SHEET L-3
 12 EVERGREEN HEDGE PLANTING, SEE TYPICAL DETAIL, SHEET L-3

PLANT SCHEDULE

QTY	SYM	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	ROOT	COMMENTS
1	MA	Malva sylvestris	Alumina	2.5' cal.	as shown	B&B	Single straight trunk
2	MA	Malva sylvestris	Alumina	2.5' cal.	as shown	B&B	Single straight trunk
3	MA	Malva sylvestris	Alumina	2.5' cal.	as shown	B&B	Single straight trunk
4	MA	Malva sylvestris	Alumina	2.5' cal.	as shown	B&B	Single straight trunk
5	MA	Malva sylvestris	Alumina	2.5' cal.	as shown	B&B	Single straight trunk
6	MA	Malva sylvestris	Alumina	2.5' cal.	as shown	B&B	Single straight trunk
7	MA	Malva sylvestris	Alumina	2.5' cal.	as shown	B&B	Single straight trunk
8	CT	Chlorophytum complanatum	Spider Plant	2' cal.	as shown	B&B	Single straight trunk
9	CT	Chlorophytum complanatum	Spider Plant	2' cal.	as shown	B&B	Single straight trunk
10	CT	Chlorophytum complanatum	Spider Plant	2' cal.	as shown	B&B	Single straight trunk
11	CT	Chlorophytum complanatum	Spider Plant	2' cal.	as shown	B&B	Single straight trunk
12	CT	Chlorophytum complanatum	Spider Plant	2' cal.	as shown	B&B	Single straight trunk
13	CT	Chlorophytum complanatum	Spider Plant	2' cal.	as shown	B&B	Single straight trunk
14	CT	Chlorophytum complanatum	Spider Plant	2' cal.	as shown	B&B	Single straight trunk
15	CT	Chlorophytum complanatum	Spider Plant	2' cal.	as shown	B&B	Single straight trunk
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100	CT	Chlorophytum complanatum	Spider Plant	2' cal.	as shown	B&B	Single straight trunk

MAINTENANCE NOTES

ALL LANDSCAPE MATERIALS, INSTALLATION, AND MAINTENANCE SHALL COMPLY WITH THE FOLLOWING NOTES:
 1. ALL PLANT MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE AMERICAN REGIONAL AND CONFORM TO THE CURRENT JAN STANDARDS, USE NOT GRADE PLANT MATERIAL.
 2. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION FREE DURING JUNE, JULY AND AUGUST. THIS ESTABLISHMENT PERIOD SHALL BE ONE (1) YEAR FROM THE DATE OF APPROVAL OF PLANTINGS BY THE TOWNSHIP. FAILURE TO MAINTAIN PLANT MATERIAL SHALL BE REPEATED WITHIN ONE (1) YEAR.
 3. THE TRUNKS AND GUY WIRES SHALL BE REMOVED AFTER ONE WINTER SEASON.



NOT FOR CONSTRUCTION