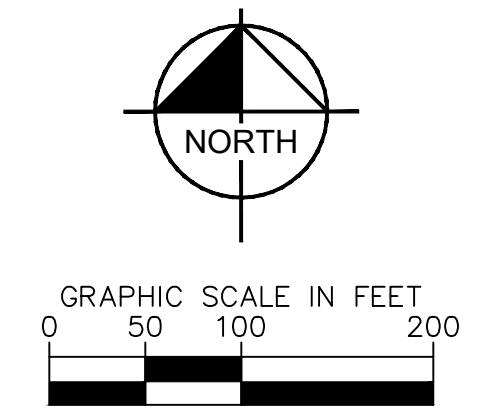
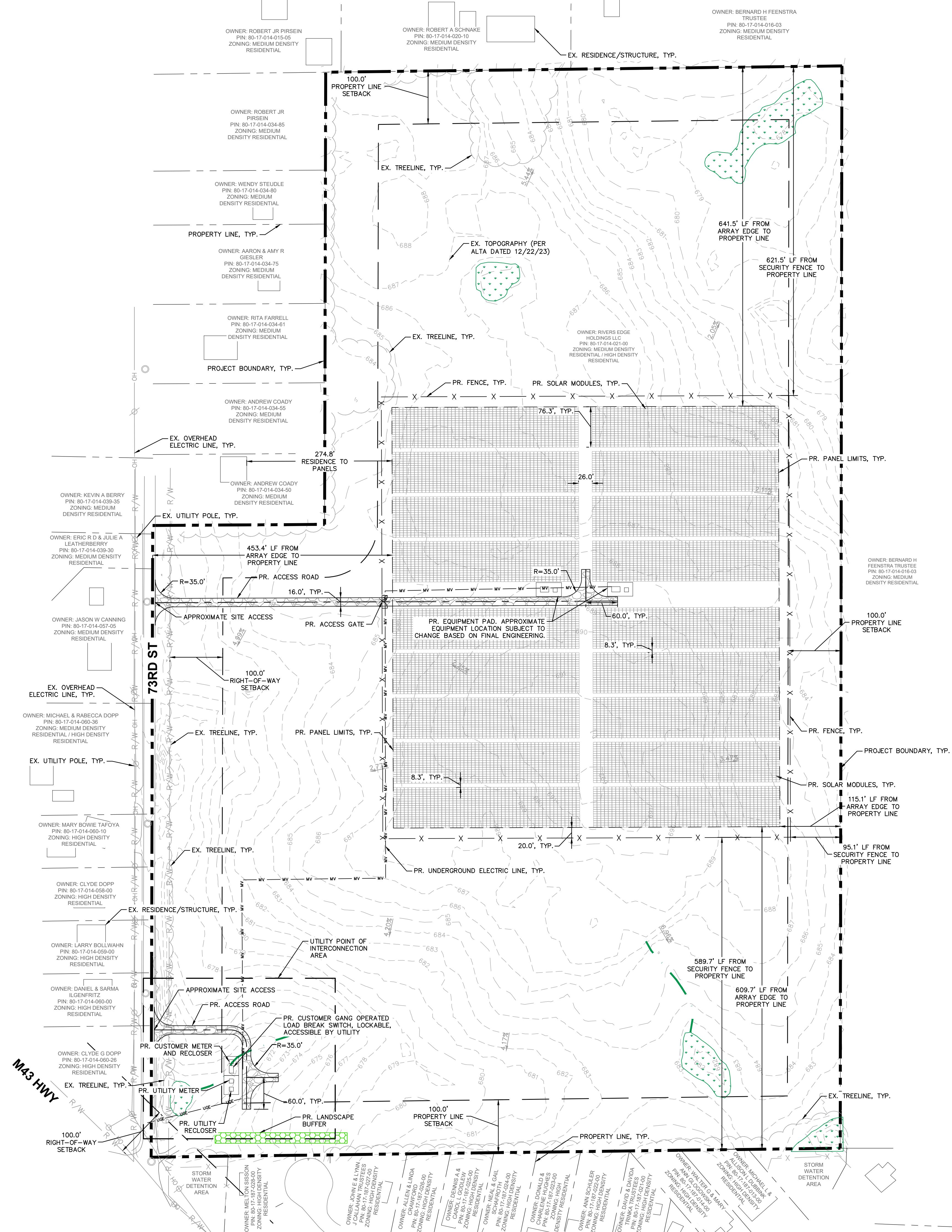
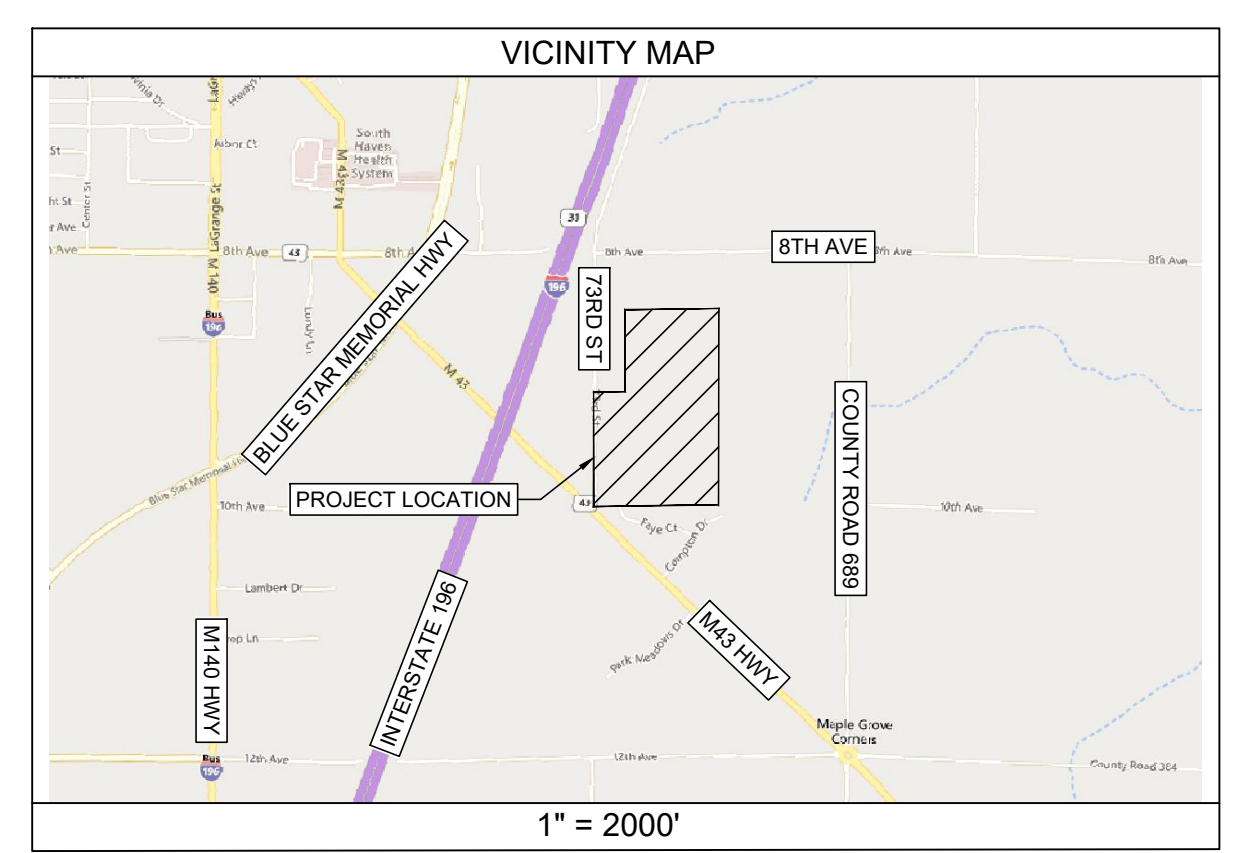


Drawing name: K:\CHL_DES\268196015_Scholarship_Van Buren Rivers Edge_MV2 Design\CHL\Exhibits\Zoning Site Plan\Van Rivers Edge_Zoning Site Plan.dwg Layout1 Oct 16, 2024 11:45am by: easanand.terragli
 This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of any improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



LEGEND

| ROAD LABEL | N 2200TH ST |
|---|-------------|
| RIGHT OF WAY | R/W |
| PROJECT BOUNDARY | --- |
| PROPERTY LINE/RIGHT OF WAY SETBACK | --- |
| PROPERTY LINE | --- |
| EX. RESIDENCE/STRUCTURE (TRACED PER AERIAL) | □ |
| EX. OVERHEAD ELECTRIC | OH |
| EX. GRAVEL/PAVEMENT | --- |
| EX. UTILITY POLE | ⊕ |
| EX. SANITARY MANHOLE | ⊙ |
| EX. TREELINE (TRACED PER AERIAL) | --- |
| EX. LINEAR FEATURES (PER KIMLEY-HORN) | --- |
| EX. WETLANDS (PER KIMLEY-HORN) | --- |
| EX. ELEVATION CONTOURS | XXX |
| EX. FLOW (DIRECTION AND SLOPE) | XXX |
| PR. FENCE | X |
| PR. ACCESS GATE | ⌢ |
| PR. PANEL LIMITS | --- |
| PR. SOLAR MODULES | --- |
| PR. OVERHEAD ELECTRIC | OH |
| PR. UNDERGROUND ELECTRIC | MV |
| PR. PAD MOUNTED UTILITY CONNECTION | □ |
| PR. ACCESS ROAD | --- |
| PR. EQUIPMENT PAD | □ |
| PR. LANDSCAPE BUFFER | --- |



SITE DATA TABLE

| | |
|--------------------------|-----------------------------------|
| APPLICANT | SOUTH HAVEN AFFORDABLE SOLAR, LLC |
| PIN # | 80-17-014-021-00 |
| ZONING JURISDICTION | SOUTH HAVEN TOWNSHIP |
| EXISTING USE | AGRICULTURAL LAND WITH ROW CROPS |
| PROPOSED USE | COMMERCIAL SOLAR ENERGY SYSTEM |
| TOTAL PARCEL AREA | 54.8 ± AC |
| PRELIMINARY PROJECT AREA | 16.3 ± AC |
| PRELIMINARY SOLAR AREA | 13.3 ± AC |
| RIGHT OF WAY SETBACK | 100' |
| PROPERTY LINE SETBACK | 100' |

*ZONING SITE PLAN IS BEING SUBMITTED FOR SPECIAL USE PERMIT TO CONSTRUCT/OPERATE A SOLAR FARM

- ### NOTES
- THE PURPOSE OF THIS PLAN IS FOR SPECIAL USE PERMIT REVIEW AND APPROVAL BY SOUTH HAVEN TOWNSHIP TO CONSTRUCT A SOLAR FARM.
 - THIS PLAN WAS PRODUCED UTILIZING GIS RESOURCES AND INFORMATION FROM MULTIPLE SOURCES, INCLUDING VAN BUREN COUNTY GIS AND GOOGLE EARTH. ALL INFORMATION LISTED AS EX. IN THE LEGEND ARE FROM THE ALTA SURVEY PREPARED BY FARNSWORTH GROUP DATED 12/22/2023 UNLESS OTHERWISE SPECIFIED.
 - SUBJECT PROPERTY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AS SHOWN ON THE FLOOD INSURANCE RATE MAP (COMMUNITY PANEL 26159C0019D AND 26159C0038C) PUBLISHED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).
 - PHOTOVOLTAIC PANELS, INVERTERS, AND INTERCONNECTION EQUIPMENT LOCATIONS SHOWN FOR REFERENCE ONLY. DESIGN AND FINAL LAYOUT TO BE COMPLETED PER DRAWINGS BY ELECTRICAL AND STRUCTURAL ENGINEER.
 - ALL EXISTING ROADWAY SHOULDER AND DITCH SECTIONS SHALL REMAIN AS-IS AT A MINIMUM, OR BE UPGRADED AS DETERMINED NECESSARY BY HERRIN AT THE ENTRANCE INSTALLATION LOCATION.
 - CONTRACTOR SHALL ENSURE EQUIPMENT PAD IS ELEVATED AT LEAST ONE FOOT ABOVE EXISTING GRADE AND CONFIRM ELEVATION WITH ENGINEER PRIOR TO POURING SLAB.
 - PROJECT AREA, INCLUDING CONSTRUCTION STAGING AREAS, WILL BE CLEARED AND GRUBBED AS NECESSARY, RETAINING PRE-DEVELOPMENT DRAINAGE PATTERNS TO THE BEST EXTENT POSSIBLE. CONSTRUCTION STAGING AND AREAS SUBJECT TO RUTTING DURING CONSTRUCTION WILL BE TEMPORARILY STABILIZED WITH GRAVEL. SOIL CONDITIONS AND EQUIPMENT LOADS WILL DETERMINE FINAL DESIGN.
 - CONTRACTOR SHALL CALL AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. ADDITIONALLY, CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES.
 - CONTRACTOR SHALL MAINTAIN ACCESS AND UTILITY SERVICES TO ANY REMAINING BUILDING(S) OR ADJACENT BUILDING(S) THROUGHOUT THE DEMOLITION AND CONSTRUCTION PHASES. EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED/RESTORED TO THE SATISFACTION OF THE OWNER BY THE CONTRACTOR RESPONSIBLE FOR THE DAMAGE.
 - THE CONTRACTOR SHALL BE FULLY RESPONSIBLE TO PROVIDE SIGNS, BARRICADES, WARNING LIGHTS, GUARD RAILS, AND EMPLOY FLAGGERS AS NECESSARY WHEN CONSTRUCTION ENDANGERS EITHER VEHICULAR OR PEDESTRIAN TRAFFIC. THESE DEVICES SHALL REMAIN IN PLACE UNTIL THE TRAFFIC MAY PROCEED NORMALLY AGAIN.
 - SITE WILL NOT INCLUDE WATER SOURCE OR SEWAGE DISPOSAL. NO EXISTING WATER WELLS ARE WITHIN THE PROJECT AREA PER THE EGE WATER WELL VIEWER ONLINE.
 - STORMWATER MANAGEMENT FACILITIES TO BE PROVIDED AS REQUIRED BY COUNTY AND/OR NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMITTING. FINAL DESIGN WILL BE DETERMINED DURING FINAL ENGINEERING.
 - THE MAXIMUM HEIGHTS OF ANY SOLAR PANEL SHALL NOT EXCEED 12 FEET.
 - THERE SHALL BE NO EXTERIOR LIGHTING.
 - SETBACKS SHOWN ON THIS PLAN ARE BASED ON SOUTH HAVEN TOWNSHIP CODE OF ORDINANCES, ARTICLE VI, MEDIUM DENSITY RESIDENTIAL DISTRICT.
 - ALL NECESSARY PERMITS FOR SOIL EROSION CONTROL AND DRIVEWAY CONSTRUCTION WILL BE OBTAINED AS PART OF FINAL ENGINEERING AND PRIOR TO CONSTRUCTION.
 - WETLANDS AND LINEAR FEATURES SHOWN ARE FROM LEVEL 1 WETLAND DELINEATION REPORT BY KIMLEY-HORN, DATED 02/16/2024.
 - ZONING DISTRICTS MENTIONED ON NEIGHBORING PROPERTIES AND THE PROJECT PROPERTY ARE FROM SOUTH HAVEN TWP. ZONING MAP LAST AMENDED 05/01/2023.
 - PARKING AREAS ARE NOT ANTICIPATED AS ON-SITE PERSONNEL FOR TYPICAL OPERATIONS IS NOT REQUIRED.

| NO. | REVISIONS | DATE |
|-----|------------------------|------------|
| 1 | LAYOUT REVISION | 10/16/2024 |
| 2 | PLANTED SOLAR REVISION | 10/01/2024 |
| 3 | SITE PLAN REVISION | 07/02/2024 |
| 4 | PROJECT AREA REVISION | 04/17/2024 |
| 5 | LAYOUT REVISION | 04/08/2024 |



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 WWW.KIMLEY-HORN.COM

| | |
|-------------|------------|
| KHA PROJECT | 268196015 |
| DATE | 03/28/2024 |
| SCALE | AS SHOWN |
| DESIGNED BY | AVT |
| DRAWN BY | AVT |
| CHECKED BY | KRKS |

ZONING SITE PLAN

SOUTH HAVEN AFFORDABLE SOLAR, LLC
 VAN BUREN COUNTY, MI

SHEET NUMBER
EX-1